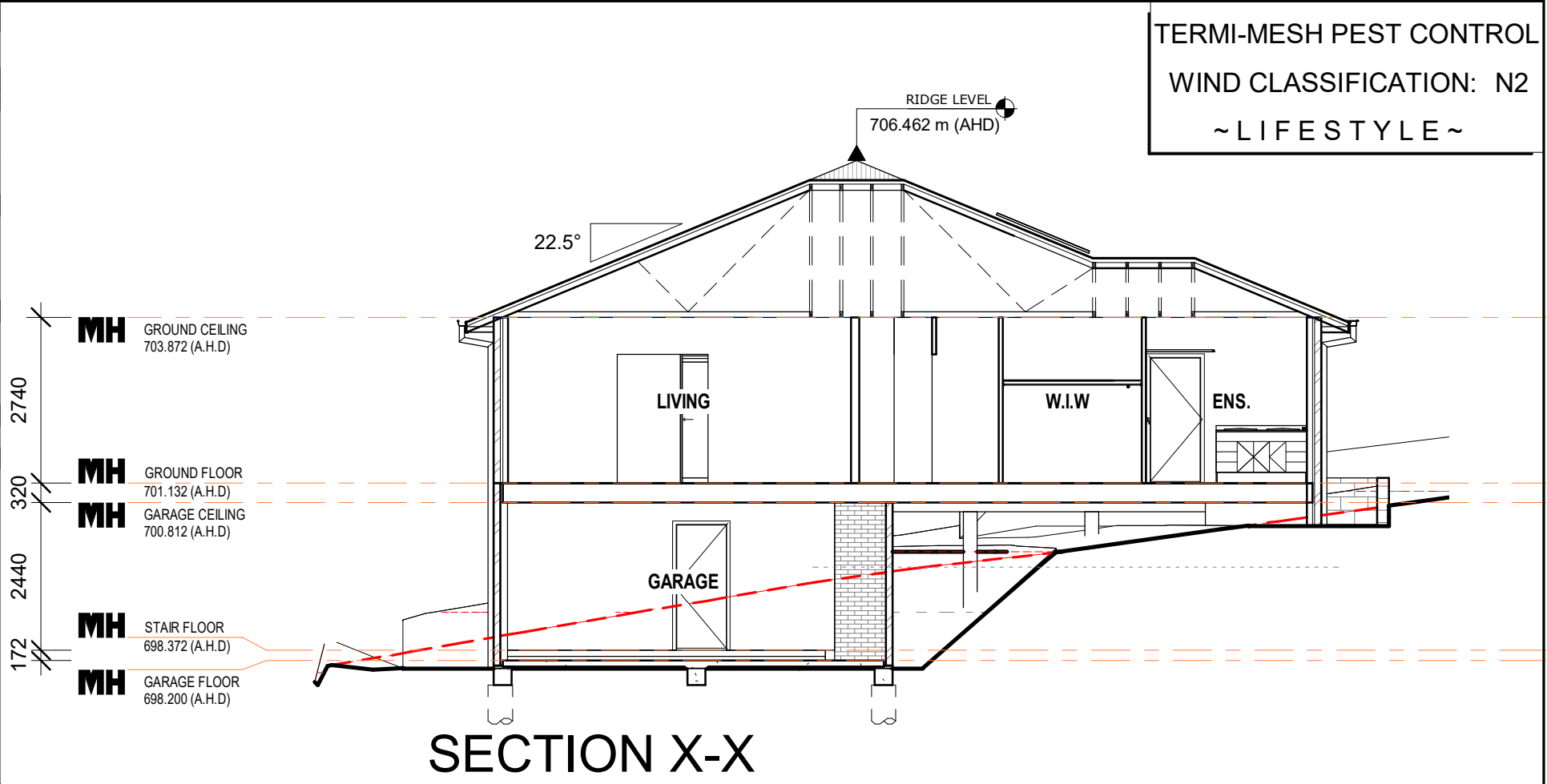


BASIX CERTIFICATE Cert. No.1193557S		Building Sustainability Index	
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying certificate issued, for the proposed development, that BASIX commitment be complied with.			
WATER COMMITMENTS			
FIXTURES			
The applicant must install showerheads with a minimm rating of 3 star (>7.5 but <=9L/min) in all showers in the development			
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.			
The applicant must install taps with a minimum rating of 4 stars in the kitchen in the development.			
The applicant must install basin taps with a minimum rating of 5 stars in each bathroom in the development.			
ALTERNATIVE WATER			
The applicant must install a rainwater tank at least 3000 litres on the site.			
The applicant must configure the rainwater tank to collect rain runoff from at least 303.7square metres of the roof area.			
The applicant must connect the rainwater tank to: all toilets, the cold water tap that supplies each clothes washer and at least one outdoor tap in the development.			
THERMAL COMFORT COMMITMENTS			
General features			
The dwelling must not have more than 2 storeys			
The conditioned floor area of the dwelling must not exceed 300 square metres.			
The dwelling must not contain open mezzanine area exceeding 25 square metres.			
The dwelling must not contain third level habitable attic room.			
Floor, walls and Ceiling/roof			
The applicant must construct the floor (s), walls, and ceiling/roof of the dwelling in accordance with the specification listed in the table			
Construction		Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground		nil	
floor - Suspended floor/enclosed sub-floor, square metres, framed		1.00 (or 1.7 including construction) (down)	
floor - above habitable rooms or mezzanie, square metres, framed		or including construction)	
floor - suspended floor above garage, framed		0.3	
external wall - brick veneer		2.06 (or 2.60 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)		(or including construction)	
internal wall shared with garage - plasterboard		nil	
ceiling and roof - flat ceiling/pitched roof		ceiling: 3.45 (up), roof: foil backed blanket (55mm)	unventilated; dark (solar absorptance >0.70)
ceiling and roof - rake ceiling/pitched or skillion roof, framed			
Note	Insulation specified in this certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia		
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		
WINDOWS, GLAZED DOORS AND SKYLIGHTS			
The applicant must install the windows, glazed doors and shading devices described in window shedule table & BASIX certificate.			
ENERGY COMMITMENTS			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rting: gas instantaneous with a performance of 6 stars			
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0-3.5			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0-3.5			
The cooling system must provide for day/night zoning between living areas and bedrooms			
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0-3.5			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0-3.5			
The heating system must provide for day/night zoning between living areas and bedrooms			
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 bathroom: indidual fan, ducted; Operation control: interlocked to light Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a			
Artificial lighting			
The applicant must ensure that 'primary type of artificial lighting' is fluoresent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluoresent or light emitting diode (LED) lamps: . at least 5 of the bedrooms/study; . at least 3 of the living/ dining rooms; . the kitchen; all bathrooms/toilets; the laundry; all hallways;			
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.			
Other			
The applicant must install a gas & electric oven in the kitchen of the dwelling.			
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1.0 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.			



Window Schedule						
Mark	Type	Height	Width	Head Height	Glazing	Areas
1	DH1809	1800	850	2143	Standard SG 3Clr	1.53 m²
2	DH1809	1800	850	2143	Standard SG 3Clr	1.53 m²
3	DH1811	1800	1090	2143	Standard SG 3Clr	1.96 m²
4	DH1811	1800	1090	2143	Standard SG 3Clr	1.96 m²
5	DH1811	1800	1090	2143	Standard SG 3Clr	1.96 m²
6	DH1811	1800	1090	2143	Standard SG 3Clr	1.96 m²
7	S1815	1800	1450	2143	Standard SG 3Clr	2.61 m²
8	S1815	1800	1450	2143	Standard SG 3Clr	2.61 m²
9	S1815	1800	1450	2143	Standard SG 3Clr	2.61 m²
10	F1809	1800	850	2143	Standard SG 3Clr	1.53 m²
11	F1806	1800	610	2143	Standard SG 3Clr	1.10 m²
12	F1806	1800	610	2143	Standard SG 3Clr	1.10 m²
13	ASD2136-3	2100	3588	2100	Standard SG 5 Clr	7.53 m²
14	F0612	600	1210	1520	Standard SG 3Clr	0.73 m²
15	850 GD	2100	850	2100	Standard SG 5 Clr	1.79 m²
16	SD2115	2100	1450	2100	Standard SG 5 Clr	3.05 m²
17	S1012	1029	1210	2143	Standard SG 3 Obscure	1.25 m²
18	S1215	1200	1450	2143	Standard SG 3Clr	1.74 m²
19	S1215	1200	1450	2143	Standard SG 3Clr	1.74 m²
20	S0624	600	2410	2143	Standard SG 3Clr	1.45 m²
21	S1009	1029	850	2143	Standard SG 3 Obscure	0.87 m²
TOTAL GLAZING						42.60 m²

BASIX COMMITMENTS
REFER TO
Basix Certificate & Pg.07
No.1193557S

ALL WINDOWS AND DOORS TO HAVE
ACOUSTIC SEALS TO COMPLY WITH
88B INSTRUMENT

SECTION X-X COUNCIL PLAN CUSTOM DESIGN	JOB No.	PROPOSED RESIDENCE	SCALE:	1 : 100	CONSULANT:	E.J.	<div>102-108 Princes Highway, Figtree NSW 2525 Ph: (02) 4271 5200</div> <div>Builder Licence No. 3602 www.marksmanhomes.com.au</div> <div><div> THIS DESIGN IS THE PROPERTY OF MARKSMAN HOMES AND IS PROTECTED UNDER THE LAWS OF COPYRIGHT LEGAL PROCEEDINGS WILL BE TAKEN AGAINST UNAUTHORISED USE OF COPYING</div><div> MARKSMAN HOMES</div></div>
	2344	SCOTT & REBECCA CHESTERFIELD	PAGE: 7	OF 13	DRAWN:	TRINH LE	
		107 DARRABY DRIVE, MOSS VALE	DATE:	13 Nov 2020	REV:	E2-26/11/2020	
	DO NOT SCALE DRAWING, FIGURED DIMENSIONS ONLY TO BE USED. DIMENSIONS TO BE VERIFIED ON SITE BEFORE THE FABRICATION OF ANY BUILDING COMPONENT.						